

DRAFT PERMIT

Permit No: 200701204-SB

Municipality: Town of Guilford

Work Area: Sachems Head Harbor off property located at 55 Chimney Corner Circle

Permittee: William Quirk
55 Chimney Corner Circle
Guilford, CT 06437

Pursuant to sections 22a-359 through 22a-363f of the Connecticut General Statutes ("CGS") and in accordance with CGS section 22a-98, and the Connecticut Water Quality Standards dated December 2002, a permit is hereby granted by the Commissioner of Environmental Protection ("Commissioner") to install a pier, ramp and float for private recreational boating access as is more specifically described below in the SCOPE OF AUTHORIZATION, in Sachems Head Harbor off property identified as the "work area" above.

*******NOTICE TO PERMITTEES AND CONTRACTORS*******

FAILURE TO CONFORM TO THE TERMS AND CONDITIONS OF THIS PERMIT MAY SUBJECT THE PERMITTEE AND ANY CONTRACTOR TO ENFORCEMENT ACTIONS, INCLUDING PENALTIES AND INJUNCTIONS, AS PROVIDED BY LAW.

SCOPE OF AUTHORIZATION

The Permittee is hereby authorized to conduct the following work as described in Application No. 200701204-SB, including seven (7) sheets dated July 31, 2009 submitted by the Permittee to the Commissioner and attached hereto:

1. Remove the concrete pile remnants and associated metal, brick, stone and concrete debris from the intertidal area shown on Figures 3 and 4; and
2. Construct a dock composed of an approximately 4' wide by 50' long pier with a wire railing supported by four 24" diameter reinforced concrete pier supports installed on ledge and projecting north from the southern end of the site, a 3' wide by 28' long ramp and an 8.3' wide by 12' long float oriented with the long axis parallel to shore and secured by two mushroom or helix mooring anchors and two cross brace chains attached to the ledge.

UPON INITIATION OF ANY WORK AUTHORIZED HEREIN, THE PERMITTEE ACCEPTS AND AGREES TO COMPLY WITH ALL TERMS AND CONDITIONS OF THIS PERMIT.

SPECIAL TERMS AND CONDITIONS

1. Except as specifically authorized by this permit, no equipment or material, including but not limited to, fill, construction materials, excavated material or debris, shall be deposited, placed or stored in any wetland or watercourse on or off-site, nor shall any wetland or watercourse or be used as a staging area or accessway other than as provided herein.
2. Not later than two weeks prior to the commencement of any work authorized herein, the Permittee shall submit to the Commissioner, on the form attached hereto as Appendix A, the name(s) and address(es) of any contractor(s) employed to conduct such work and the expected date for commencement and completion of such work.
3. The Permittee shall, prior to the construction of the dock authorized herein, remove the concrete pile remnants and metal, brick, stone and concrete debris ("debris") from the intertidal ^{area} shown on Figures 3 and 4. Said debris shall be removed by hand using hand held equipment during periods of low water and shall be disposed of landward of the high tide line and outside of tidal wetlands in accordance with all applicable law.
4. The Permittee shall install the concrete pier supports ("supports") authorized herein by hand using hand held equipment during periods of low water. The soil/rock removed to facilitate installation of the supports shall be removed and disposed of landward of the high tide line and outside of any tidal wetlands at an upland site approved for the disposal of such material in accordance with all applicable law.
5. The Permittee shall ensure that all work conducted by a water-based barge shall take place during periods of high water only in order to ensure that the barge does not rest on or come in contact with the substrate. Any such barge must move to deeper waters during periods of low water, but shall not interfere with navigation in the river or be berthed in an area of submerged aquatic vegetation or tidal wetland vegetation. It shall not be a defense to this provision for the Permittee to assert that they have no control over the operation of the barge.
6. The Permittee shall remove the ramp, float and anchor chains authorized herein no later than November 15 of any calendar year and shall not install such ramp and float before April 15 of any calendar year. Upon removal of the ramp and float authorized herein, the Permittee shall store such structures at an upland location, landward of the high tide line and outside of tidal wetlands.
7. The Permittee shall give a copy of this permit to the contractor(s) who will be carrying out the activities authorized herein prior to the start of construction and shall receive a written receipt for such copy, signed and dated by such contractor(s). The Permittee's contractor(s) shall conduct all operations at the site in full compliance with this permit and, to the extent provided by law, may be held liable for any violation of the terms and conditions of this permit.
8. All waste material generated by the performance of the work authorized herein shall be disposed of by the Certificate Holder at an upland site approved for the disposal of such waste material, as applicable.

9. On or before (a) 90 days after completion of the work authorized herein, or (b) upon expiration of the work completion date or any authorized one year extension thereof, whichever is earlier, the Permittee shall submit to the Commissioner "as-built" plans prepared and sealed by a licensed engineer, licensed surveyor or licensed architect, as applicable, of the work area showing all contours, bathymetries, tidal datums, and structures.

GENERAL TERMS AND CONDITIONS

1. All work authorized by this permit shall be completed within five years from date of issuance of this permit ("work completion date") in accordance with all conditions of this permit and any other applicable law.
 - a. The Permittee may request a one-year extension of the work completion date. Such request shall be in writing and shall be submitted to the Commissioner at least 30 days prior to said work completion date. Such request shall describe the work done to date, work which still needs to be completed and the reason for such extension. The Commissioner shall grant or deny such request at her sole discretion.
 - b. Any work authorized herein conducted after said work completion date or any authorized one-year extension thereof is a violation of this permit and may subject the Permittee to enforcement action, including penalties, as provided by law.
2. In conducting the work authorized herein, the Permittee shall not deviate from the attached plans, as may be modified by this permit. The Permittee shall not make de minimis changes from said plans without prior written approval of the Commissioner.
3. The Permittee shall maintain all structures or other work authorized herein in good condition. Any such maintenance shall be conducted in accordance with applicable law including, but not limited to, CGS sections 22a-28 through 22a-35 and CGS sections 22a-359 through 22a-363f.
4. Prior to the commencement of any work authorized hereunder, the Permittee shall cause a copy of this permit to be given to any contractor(s) employed to conduct such work. At the work area the Permittee shall, whenever work is being performed, make available for inspection a copy of this permit and the final plans for the work authorized herein.
5. The Permittee shall notify the Commissioner in writing of the commencement of any work and completion of all work authorized herein no later than three days prior to the commencement of such work and no later than seven days after the completion of such work.
6. In undertaking the work authorized hereunder, the Permittee shall not cause or allow pollution of wetlands or watercourses, including pollution resulting from sedimentation and erosion. For purposes of this permit/certificate, "pollution" means "pollution" as that term is defined by CGS section 22a-423.

7. Upon completion of any work authorized herein, the Permittee shall restore all areas impacted by construction, or used as a staging area or access way in connection with such work, to their condition prior to the commencement of such work.
8. Any document required to be submitted to the Commissioner under this permit or any contact required to be made with the Commissioner shall, unless otherwise specified in writing by the Commissioner, be directed to:

Permit Section
Office of Long Island Sound Programs
Department of Environmental Protection
79 Elm Street
Hartford, Connecticut 06106-5127
(860) 424-3034
Fax # (860) 424-4054

9. The date of submission to the Commissioner of any document required by this permit shall be the date such document is received by the Commissioner. The date of any notice by the Commissioner under this permit, including but not limited to notice of approval or disapproval of any document or other action, shall be the date such notice is personally delivered or the date three days after it is mailed by the Commissioner, whichever is earlier. Except as otherwise specified in this permit, the word "day" as used in this permit means calendar day. Any document or action which is required by this permit to be submitted or performed by a date which falls on a Saturday, Sunday or a Connecticut or federal holiday shall be submitted or performed on or before the next day which is not a Saturday, Sunday, or a Connecticut or federal holiday.
10. The work specified in the SCOPE OF AUTHORIZATION is authorized solely for the purpose set out in this permit. No change in the purpose or use of the authorized work or facilities as set forth in this permit may occur without the prior written authorization of the Commissioner. The Permittee shall, prior to undertaking or allowing any change in use or purpose from that which is authorized by this permit, request authorization from the Commissioner for such change. Said request shall be in writing and shall describe the proposed change and the reason for the change.
11. This permit may be revoked, suspended, or modified in accordance with applicable law.
12. This permit is not transferable without prior written authorization of the Commissioner. A request to transfer a permit shall be submitted in writing and shall describe the proposed transfer and the reason for such transfer. The Permittee's obligations under this permit shall not be affected by the passage of title to the work area to any other person or municipality until such time as the Commissioner authorizes a transfer.
13. The Permittee shall allow any representative of the Commissioner to inspect the work authorized herein at reasonable times to ensure that it is being or has been accomplished in accordance with the terms and conditions of this permit.

14. In granting this permit, the Commissioner has relied on representations of the Permittee, including information and data provided in support of the Permittee's application. Neither the Permittee's representations nor the issuance of this permit shall constitute an assurance by the Commissioner as to the structural integrity, the engineering feasibility or the efficacy of such design.
15. In the event that the Permittee becomes aware that he did not or may not comply, or did not or may not comply on time, with any provision of this permit or of any document required hereunder, the Permittee shall immediately notify the Commissioner and shall take all reasonable steps to ensure that any noncompliance or delay is avoided or, if unavoidable, is minimized to the greatest extent possible. In so notifying the Commissioner, the Permittee shall state in writing the reasons for the noncompliance or delay and propose, for the review and written approval of the Commissioner, dates by which compliance will be achieved, and the Permittee shall comply with any dates that may be approved in writing by the Commissioner. Notification by the Permittee shall not excuse noncompliance or delay and the Commissioner's approval of any compliance dates proposed shall not excuse noncompliance or delay unless specifically stated by the Commissioner in writing.
16. In evaluating the application for this permit the Commissioner has relied on information and data provided by the Permittee and on the Permittee's representations concerning site conditions, design specifications and the proposed work authorized herein, including but not limited to representations concerning the commercial, public or private nature of the work or structures authorized herein, the water-dependency of said work or structures, its availability for access by the general public, and the ownership of regulated structures or filled areas. If such information proves to be false, deceptive, incomplete or inaccurate, this permit may be modified, suspended or revoked, and any unauthorized activities may be subject to enforcement action.
17. The Permittee may not conduct work waterward of the high tide line or in tidal wetlands at this permit site other than the work authorized herein, unless otherwise authorized by the Commissioner pursuant to CGS section 22a-359 et. seq. and/or CGS section 22a-32 et. seq.
18. The issuance of this permit does not relieve the Permittee of his obligations to obtain any other approvals required by applicable federal, state and local law.
19. Any document, including but not limited to any notice, which is required to be submitted to the Commissioner under this permit shall be signed by the Permittee and by the individual or individuals responsible for actually preparing such document, each of whom shall certify in writing as follows: "I have personally examined and am familiar with the information submitted in this document and all attachments and certify that based on reasonable investigation, including my inquiry of those individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief, and I understand that any false statement made in this document or its attachments may be punishable as a criminal offense."
20. This permit is subject to and does not derogate any present or future property rights or powers of the State of Connecticut, and conveys no property rights in real estate or material nor any

exclusive privileges, and is further subject to any and all public and private rights and to any federal, state or local laws or regulations pertinent to the property or activity affected hereby.

Issued on _____, 2009

STATE OF CONNECTICUT
DEPARTMENT OF ENVIRONMENTAL PROTECTION

Betsey Wingfield
Bureau Chief
Bureau of Water Protection & Land Reuse

Permit No. 200701204-SB
William Quirk, Permittee

sb

OFFICE OF LONG ISLAND SOUND PROGRAMS

APPENDIX A

TO: Permit Section
Department of Environmental Protection
Office of Long Island Sound Programs
79 Elm Street
Hartford, CT 06106-5127

PERMITTEE: William Quirk
55 Chimney Corner Circle
Guilford, CT 06437

Permit No: 200701204-SB

CONTRACTOR 1: _____

Address: _____

Telephone #: _____

CONTRACTOR 2: _____

Address: _____

Telephone #: _____

CONTRACTOR 3: _____

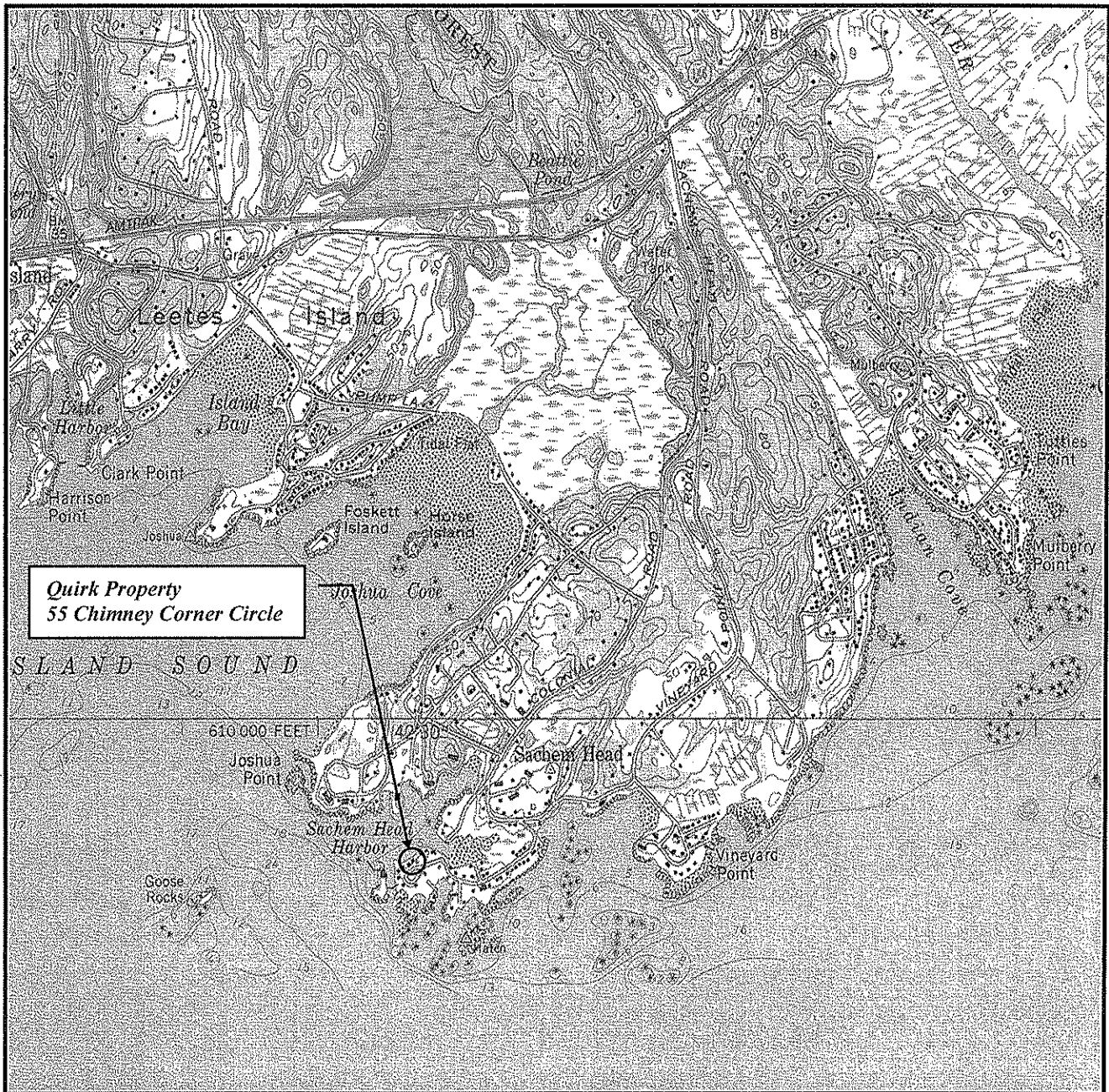
Address: _____

Telephone #: _____

EXPECTED DATE OF COMMENCEMENT OF WORK: _____

EXPECTED DATE OF COMPLETION OF WORK: _____

PERMITTEE: _____
(signature) (date)



SCALE: 1 = 12,000

MAP TAKEN FROM 7.5 MINUTE USGS TOPOGRAPHIC MAPS
OF THE GUILFORD, CONNECTICUT QUADRANGLE, 1960
(PHOTOINSPECTED 1976, PHOTOREVISED 1984).

Coastline Consulting & Development

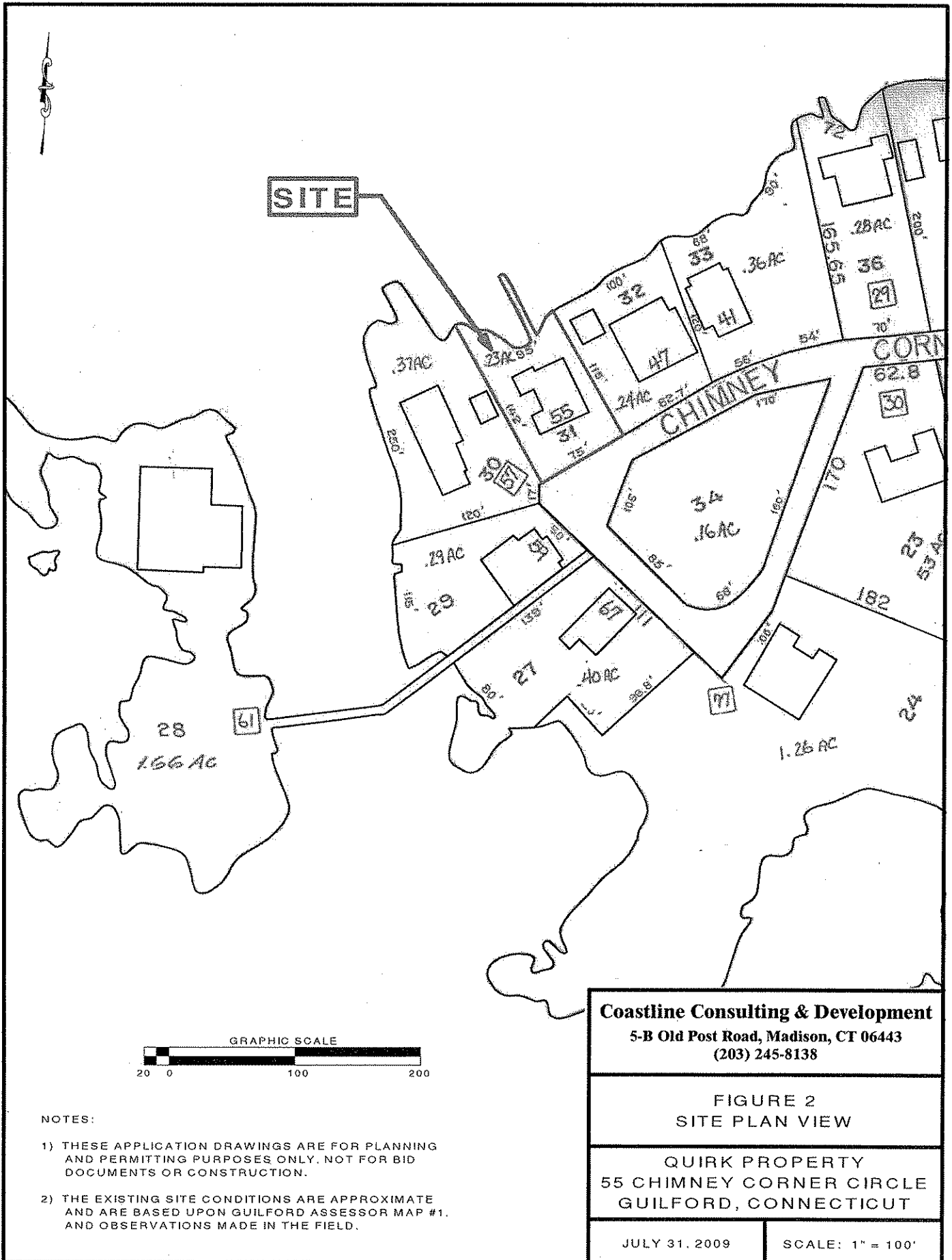
5-B Old Post Road, Madison CT 06443
(203) 245-8138

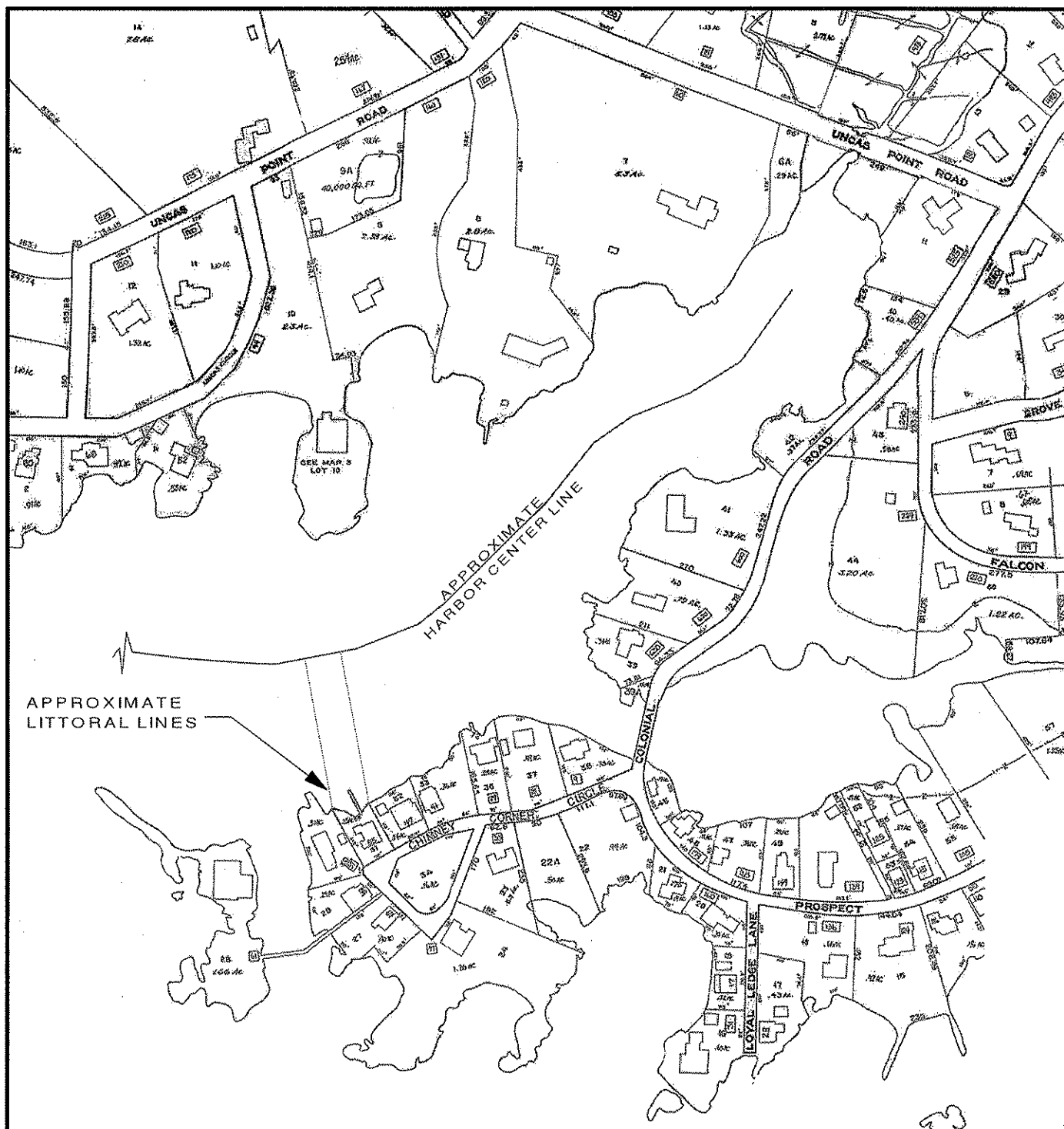
FIGURE 1
SITE LOCATION MAP

QUIRK PROPERTY
55 CHIMNEY CORNER CIRCLE
GUILFORD, CONNECTICUT

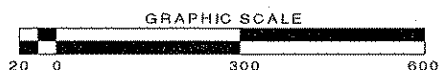
JULY 31, 2009

FILE NO.: 06-111





APPROXIMATE
LITTORAL LINES



NOTES:

- 1) THIS DRAWING IS A COMPILATION OF VARIOUS SURVEYS, DRAWINGS AND PLANS PREPARED BY OTHERS. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY, AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
- 2) SHORELINE DETAIL AND PROPERTY LINES ARE BASED UPON GUILFORD ASSESSOR MAPS #1, 3, & 4.
- 3) THIS DRAWING IS CONSIDERED APPROXIMATE AND IS FOR PLANNING AND PERMITTING PURPOSES ONLY.

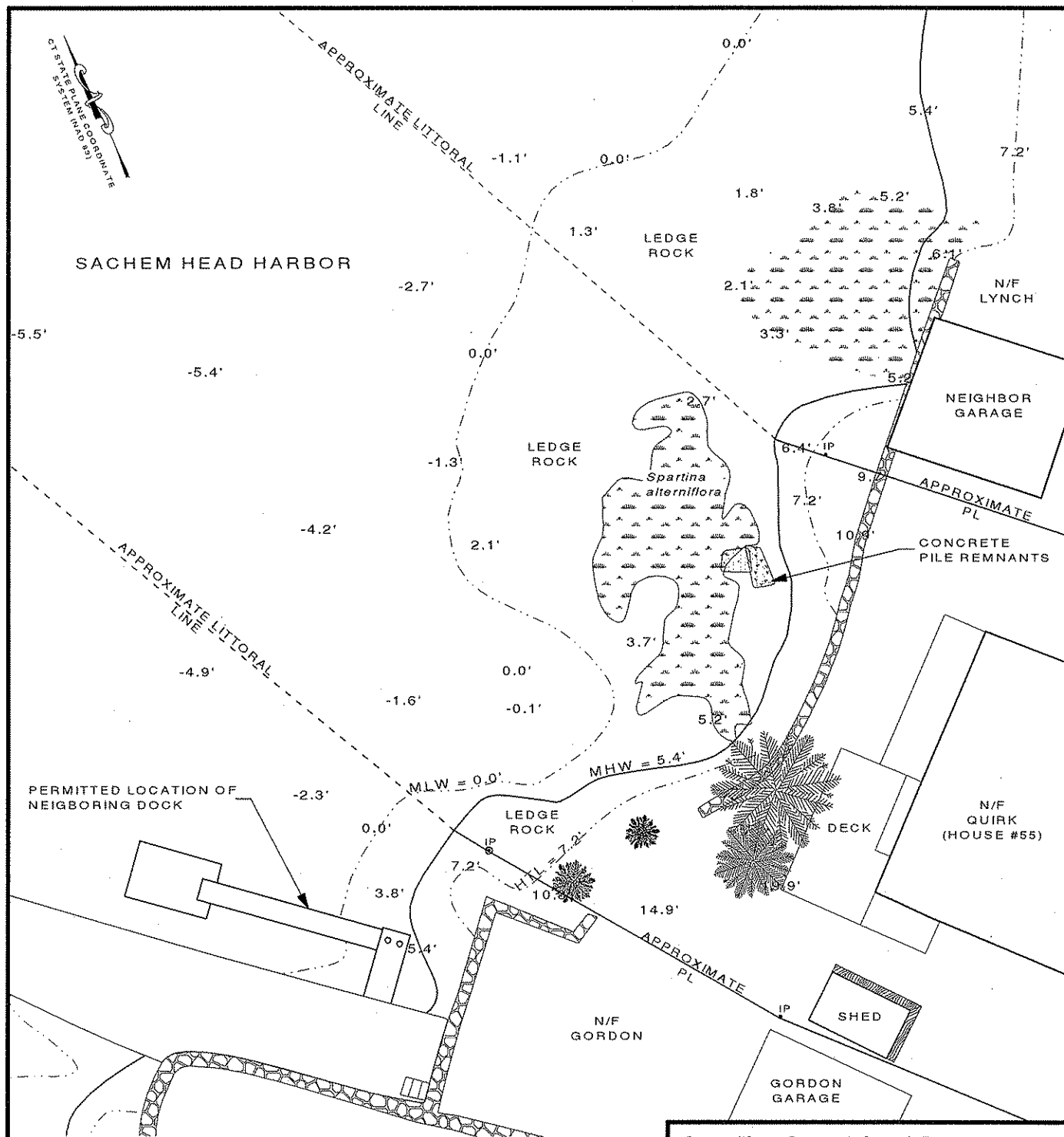
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FIGURE 3a
APPROXIMATE LITTORAL LINES

QUIRK PROPERTY
55 CHIMNEY CORNER CIRCLE
GUILFORD, CT

JULY 31, 2009

SCALE: 1" = 300'



NOTES:

- 1) THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS COLLECTED ON 01/09/2007, 01/18/2007, 9/12/07, & 6/30/08, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY, AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
- 2) REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. "MAP OF PROPERTY OWNED BY ROBERT R. & MARYLOUISE WALSH, GUILFORD, CT" DATED JULY 14, 2004, SCALE 1"=20' AND PREPARED BY ROBERT C. HART L.S., MADISON, CT.
 - B. GUILFORD ASSESSOR MAP #1.
- 3) SOUNDINGS AND UPLAND ELEVATIONS ARE IN FEET. FIELD-LOCATED BY COASTLINE CONSULTING & DEVELOPMENT, LLC. AND ARE REFERENCED TO THE MEAN LOW WATER (MLW) TIDAL DATUM BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
- 4) THIS MAP IS FOR PLANNING AND PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR FILING ON LAND RECORDS IN TOWN OR CITY CLERK'S OFFICE. THE PROPERTY LINES ARE DEPICTED GRAPHICALLY ONLY, AND DO NOT REPRESENT ANY PROPERTY/BOUNDARY OPINION. NOT ALL IMPROVEMENTS AND FEATURES HAVE BEEN DEPICTED.

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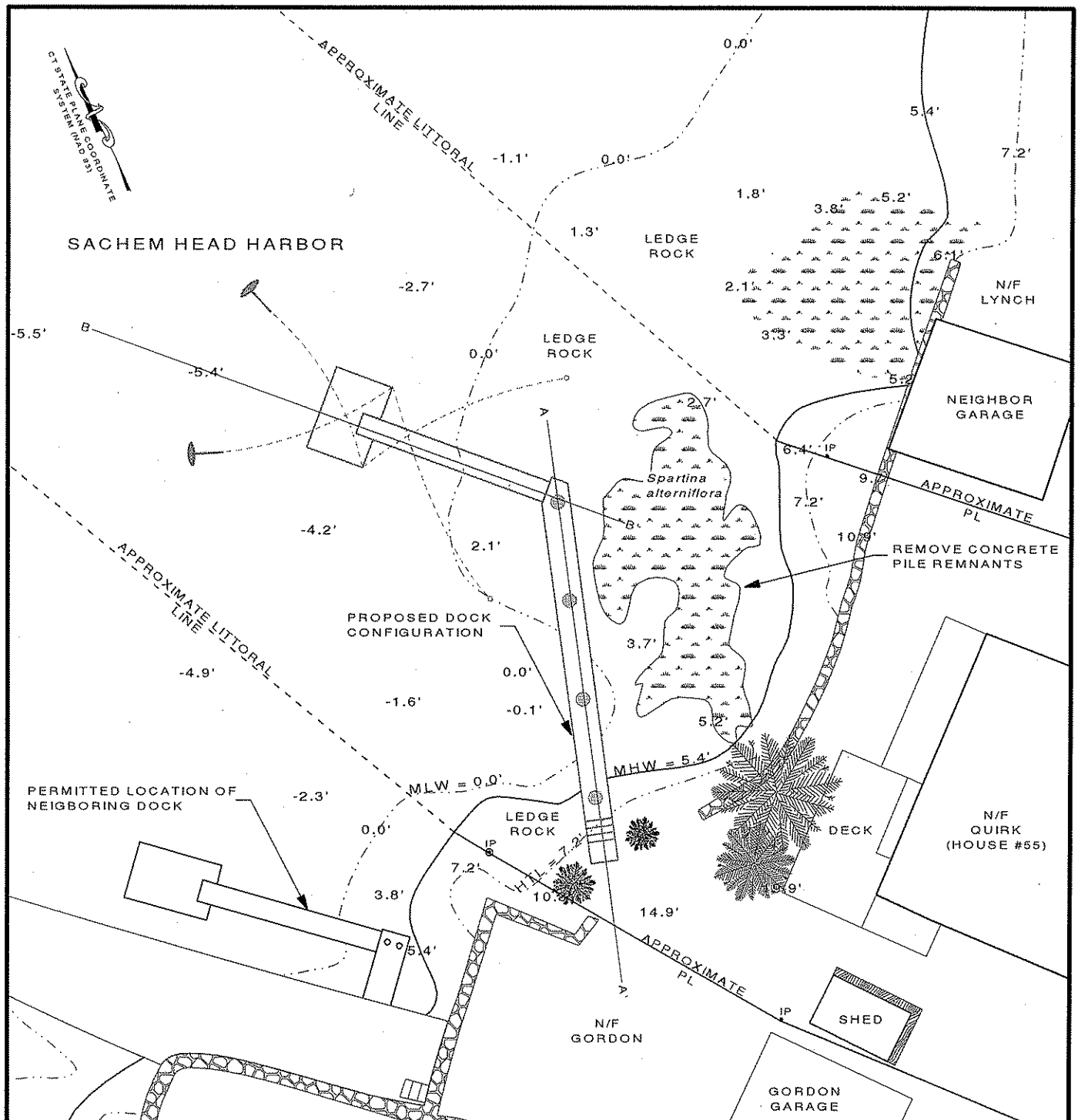
5-B Old Post Road, Madison, CT 06443
(203) 245-8138

FIGURE 3 EXISTING CONDITIONS

QUIRK PROPERTY
55 CHIMNEY CORNER CIRCLE
GUILFORD, CONNECTICUT

JULY 31, 2009

SCALE: 1" = 20'



NOTES:

- 1) THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS COLLECTED ON 01/09/2007, 01/18/2007, 9/12/07 & 6/30/08, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY, AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
- 2) REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. "FIGURE 3, EXISTING CONDITIONS, QUIRK PROPERTY, 55 CHIMNEY CORNER CIRCLE, GUILFORD, CONNECTICUT," DATED JULY 31, 2009, SCALE 1" = 20', AND PREPARED BY COASTLINE CONSULTING & DEVELOPMENT, LLC.
- 3) SOUNDINGS AND UPLAND ELEVATIONS ARE IN FEET, FIELD-LOCATED BY COASTLINE CONSULTING & DEVELOPMENT, LLC, AND ARE REFERENCED TO THE MEAN LOW WATER (MLW) TIDAL DATUM BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
- 4) THIS MAP IS FOR PLANNING AND PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR STRUCTURAL DESIGN, BID DOCUMENTS, CONSTRUCTION, OR FOR FILING ON LAND RECORDS IN TOWN OR CITY CLERK'S OFFICE. THE PROPERTY LINES ARE DEPICTED GRAPHICALLY ONLY, AND DO NOT REPRESENT ANY PROPERTY/BOUNDARY OPINION. NOT ALL IMPROVEMENTS AND FEATURES HAVE BEEN DEPICTED.

Coastline Consulting & Development

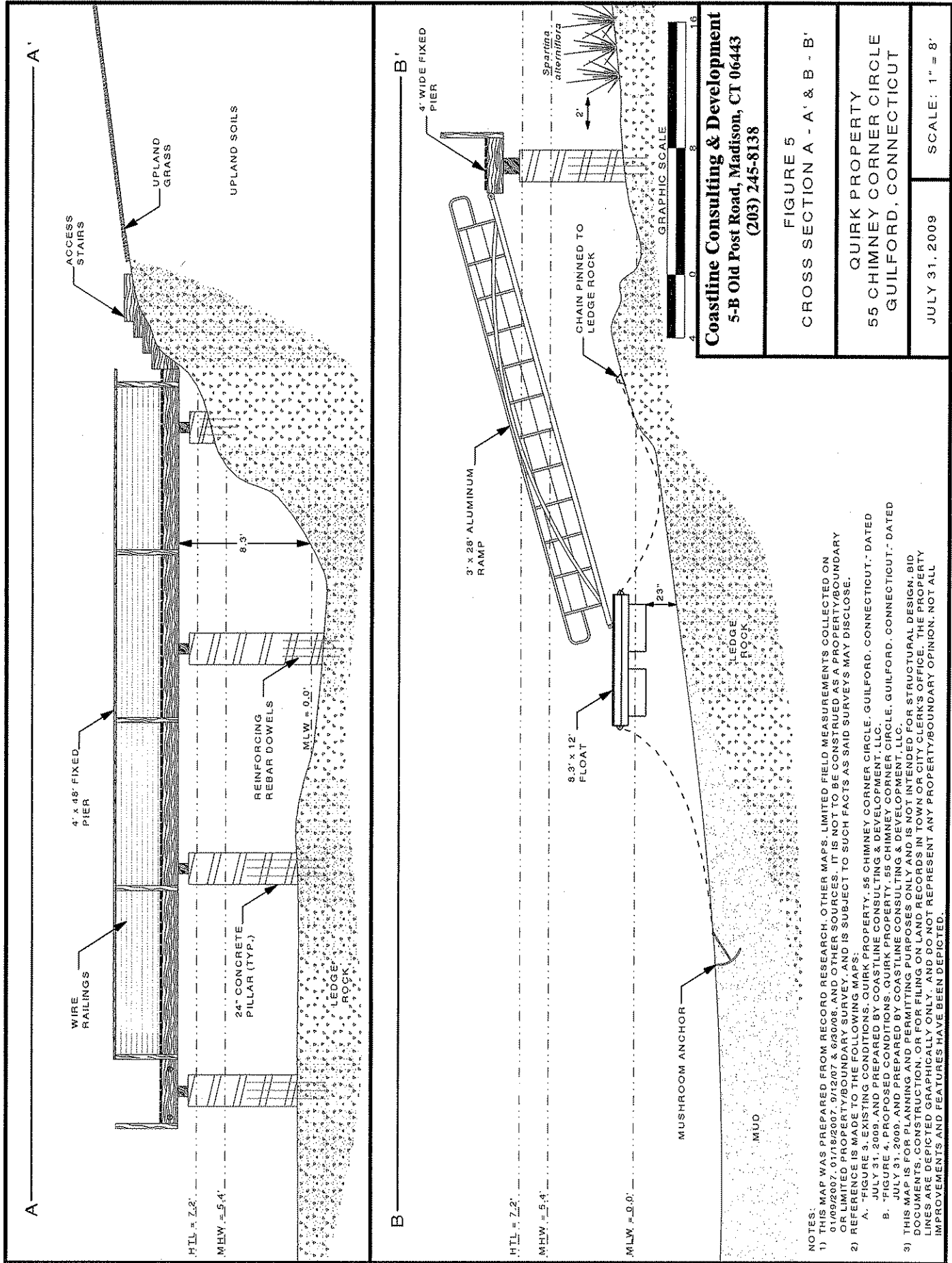
5-B Old Post Road, Madison, CT 06443
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**FIGURE 4
PROPOSED CONDITIONS**

**QUIRK PROPERTY
55 CHIMNEY CORNER CIRCLE
GUILFORD, CONNECTICUT**

JULY 31, 2009

SCALE: 1" = 20'



NOTES:

- THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS COLLECTED ON 07/20/07, 07/26/2007, 07/26/2007 & 08/06/08, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED SURVEY. THE PROPERTY/BOUNDARY SURVEY, AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - FIGURE 3, EXISTING CONDITIONS, QUIRK PROPERTY, 55 CHIMNEY CORNER CIRCLE, GUILFORD, CONNECTICUT, DATED JULY 31, 2009, AND PREPARED BY COASTLINE CONSULTING & DEVELOPMENT, LLC.
 - FIGURE 4, PROPOSED CONDITIONS, QUIRK PROPERTY, 55 CHIMNEY CORNER CIRCLE, GUILFORD, CONNECTICUT, DATED JULY 31, 2009, AND PREPARED BY COASTLINE CONSULTING & DEVELOPMENT, LLC.
- THIS MAP IS FOR PLANNING AND PERMITTING PURPOSES ONLY AND IS NOT INTENDED FOR STRUCTURAL DESIGN. BID DOCUMENTS, CONSTRUCTION, OR FOR FILING ON LAND RECORDS IN TOWN OR CITY CLERK'S OFFICE. THE PROPERTY LINES ARE DEPICTED GRAPHICALLY ONLY, AND DO NOT REPRESENT ANY PROPERTY/BOUNDARY OPINION. NOT ALL IMPROVEMENTS AND FEATURES HAVE BEEN DEPICTED.